

allowance/contingency
authorization request



ACAR #: 02

From:

Concord General Contracting, Inc.
2240 West Broadway Road, Suite #105
Mesa, AZ 85202
Phone: 480-962-8080 Fax: 480-962-0707

Date Created: 7/22/20

Date Submitted: 7/22/20

Attn:

Lake Havasu Unified School District No. 1
2200 Havasupai Boulevard
Lake Havasu City, AZ 86403-3798

Project:

#2018-Lake Havasu USD Renovations
2675 Palo Verde Blvd S
Lake Havasu City, AZ 86403

The following pricing is offered for your consideration:

ACAR #: 02 - ASI-03 (Constellation Drive Improvements)

Item #: 1 - ASI-03 (Constellation Drive Improvements)

Description	Amount
Taz-Concrete - Add 6" curb & gutter, add 4" concrete sidewalk & ADA corner ramp.	32,760.00
Pioneer Earthmovers - Earthwork & paving cost for constellation drive-offsite improvements.	33,936.00
Tri Suns Engr - Remove existing tee and valve, install 6 (ea) valve and install city supplied fire hydrant.	6,616.00
Subtotal:	73,312.00
Total For Item #1:	73,312.00

Item #: 2 - ASI-03 (Constellation Drive Improvements)

Description	Amount
LHHS Project Contingency	-73,312.00
Subtotal:	-73,312.00
Total For Item #2:	(73,312.00)

Total For Authorization Request: 0.00

1. This Quotation has been priced in accordance with the current job progress position and rate of progress and, therefore, is subject to adjustment if authorization to incorporate subject change into the work is not received by: 7/22/2020
2. If this Proposal is accepted, the Contract Time will be extended by 0 days.
3. This change order request does not include any amount for changes in the sequence of work, delays, disruption, rescheduling, extended overhead, acceleration, or impact costs; and the contractor is expressly reserving its right to make claim for any and all of these and related items of cost prior to final settlement of contract.

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From:

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Phone: 480-962-8080 Fax: 480-962-0707

Date Created: 7/22/20

Date Submitted: 7/22/20

Submitted By:

Concord General Contracting, Inc.

Architect Review By:

EMC2 Group Architects Planners, PC

Approved By:

Lake Havasu Unified School District No.

Signed:

A handwritten signature in black ink, appearing to be 'Stacey Scott'.

Stacey Scott
2:49:48 PM
07/22/2020

Signed:

Signed:

Date:

Date:

Date:



2560 N. KIOWA BLVD., SUITE 101, LAKE HAVASU, AZ 86403
PHONE: 928-453-1838
FAX: 928-453-4583
EMAIL: TAZ@TAZCONCRETE.NET
ROC107304 ROC097089

JULY 17, 2020

JOB ADDRESS: ADDENDUM THREE, LHHS FIELD IMPROVEMENT, LAKE HAVASU, AZ

DESCRIPTION	QUANTITY	PRICE
6" CURB & GUTTER	890 FEET	19580.00
4" CONCRETE SIDEWALK ADDITIONAL	1780 SQ. FEET	10680.00
ADA CORNER RAMP	1	2500.00
	TOTAL	\$32,760.00

- DOES NOT INCLUDE INSTALLATION OF FENCE POSTS, OR ANY OTHER GROUTED POSTS
- DOES NOT INCLUDE FENCE OR GATE POST
- MAY BE SUBJECT TO PUMP, PUMP PRICES SUBJECT TO CHANGE
- PRICE SUBJECT TO CHANGE BASED ON FEASIBILITY OF LOT AND ELEVATION
- SURVEY LAYOUT REQUIREMENTS TO PAID BY GENERAL CONTRACTOR
- SURVEY REQUIRED WHEN BUILDING TOUCHES 3 POINTS OF PROPERTY AT OWNERS EXPENSE
- PRICE SUBJECT TO CHANGE DUE TO THE APPROVAL OF THE CITY RED LINE PLANS
- PRICE SUBJECT TO CHANGE BASED ON ANY ENGINEERING CHANGES THIS BID IS BASED ON OUR STANDARD DIGGING PRACTICES AND IF EXTRA EQUIPMENT OR TIME IS NEEDED TO EXTRACT ROCK OR HARD GROUND CONDITIONS THIS WILL BE AN EXTRA CHARGE
- ITEMS NOT SPECIFICALLY MENTIONED ABOVE ARE EXCLUDED AND WILL BE CONSIDERED EXTRAS AT AN ADDITIONAL CHARGE
- DOES NOT INCLUDE STAKING, CONCRETE CYLINDER TESTING, SAMPLING, STRIPING, UTILITY ADJUSTMENTS, ADDITIONAL MATERIALS, OR COMPACTION/SOILS TESTING

WE PROPOSE TO HEREBY FURNISH MATERIAL AND LABOR COMPLETE IN ACCORDANCE WITH THE ABOVE SPECIFICATIONS, FOR THE SUM OF (**\$ 32,760.00**) **THIRTY TWO THOUSAND SEVEN HUNDRED SIXTY DOLLARS AND 00/100.**

PAYMENT TO BE DUE AT EACH PHASE OF THE JOB. PROPOSAL GOOD FOR THIRTY (30) DAYS ONLY.

ACCEPTANCE OF PROPOSAL: THE ABOVE PRICES, SPECIFICATIONS AND CONDITIONS ARE SATISFACTORY AND HEREBY ACCEPTED. YOU ARE AUTHORIZED TO DO THE WORK SPECIFIED. PAYMENT WILL BE MADE UPON COMPLETION OF WORK.

SIGNATURE: _____

PRINT NAME: _____ DATE: _____



July 10, 2020

REQUEST FOR CHANGE ORDER

High School Athletic Field Renovations
2675 S. Palo Verde Blvd.

Scope of Work

Constellation Drive-offsite improvements

Demolition: \$3,600.00

- Saw cut and remove existing per plan

Grade: \$6,000.00

- Grade to match existing AC
- Grade for walks and curb

Note: Fiberoptic and gas mains may be in conflict and will need to be lowered to have sufficient cover. This is EXCLUDED in price

Paving: \$24,336.00

- 2" AC over 4" ABC
- 1521 sq. yds @ \$16.00

Total: \$33,936.00

Submitted by Tony Jorgensen
tonyj@pioneerearthmovers.com

ESTIMATE



Concord General Contracting, Inc.
Constellation Fh
(480) 263-1186

Tri Suns Engineering ROC 193635

2657 Kiowa Blvd. N.
Lake Havasu City, Az 86403
Phone: (928) 279-9938
Email: dbooth@trisunhavas.com
Fax: (928) 855-6073

Estimate # 005133
Date 07/13/2020
PO # constellation

Description	Quantity	Rate	Total
REMOVE EXISTING Tee and valve	1.0	\$3,200.00	\$3,200.00
Install 6 valve per each	1.0	\$1,210.00	\$1,210.00
Install 8" c900	10.0	\$42.00	\$420.00
6" DIP	18.0	\$52.00	\$936.00
Install city supplied fire hydrant	1.0	\$850.00	\$850.00
Subtotal			\$6,616.00
Total			\$6,616.00

Notes:

EXCLUDES - survey, permits or bonds, inspection, traffic control, landscaping, blasting, dewatering, import or export of material, excavation that cannot be excavated with a CAT 323 with a 2' bucket, conflicting utilities, over excavation, compaction testing, remove or replace concrete or asphalt, unsuitable material, construction water, compaction testing.
INCLUDES - labor, equipment, compaction, to install bid item.

ACCESS TO PIPE LINE MUST BE ACCESSIBLE WITH EQUIPMENT TO INSTALL PIPEWORK.

By signing this document, the customer agrees to the services and conditions outlined in this document. Quote valid for 30 days. By signing this you agree to pay within 15 days of invoice. Unit price prevails. Quote is only valid for 30 days.

Drew Booth

Concord General Contracting, Inc.
Constellation Fh

Architect's Supplemental Instructions



Architects ■ Planners, PC

Learning Places & Growing Spaces

Emc2 GROUP ARCHITECTS PLANNERS, PC

1635 North Greenfield Road
Suite 144
Mesa, AZ 85205

P 480 830 3838 F 480 830 3860
T 520 203 1771 T 800 372 6849
www.emc2architects.com

Project Name:	Lake Havasu HS Field Renovations		
Project No.	9217488.02		
ASI No:	THREE	Date of Issuance:	6-30-2020
Contractor:	Concord		
Owner:	Lake Havasu USD		
<p>The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Prior to proceeding in accordance with these instructions, indicate your acceptance of these instructions for minor change to the work as consistent with the Contract Documents and return a copy to the Architect.</p>			

Instructions/Description:

1. **ADD** Half Street Improvements at Constellation Drive per attachments.

Attachments: *(Insert listing of documents that support description.)*

1. Offsite Improvement Plan 1 of 4, Dated 6-30-2020
2. Offsite Improvement Plan 2 of 4, Dated 6-30-2020
3. Offsite Improvement Plan 3 of 4, Dated 6-30-2020
4. Offsite Improvement Plan 4 of 4, Dated 6-30-2020

Issued by:

Accepted by:

Date:

Architect

Contractor (Type name)

☐ Owner

☐ Architect

☐ Contractor

☐ Consultant

☐ Field

☐ Other

1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS, UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (MAG), OTHER CITY'S, AND ADDED DETAILS (AS CITED IN PROJECT PLANS AND SPECIFICATIONS), LAKE HAVASU CITY STANDARD DETAILS WILL CONTINUE TO APPLY WHERE SUCH DETAILS WERE NOT ADOPTED OR INCLUDED BY MAG. ALTERNATE DETAILS AND SPECIFICATIONS MAY BE REQUIRED FOR REVIEW AND ACCEPTANCE BY THE ENGINEERING DIVISION. IF ACCEPTED, ALTERNATE DETAILS WILL BE SHOWN AS PART OF THE APPROVED PLANS/DRAWING SHEETS.
2. THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH CITY REQUIREMENTS PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS. HOWEVER, SUCH REVIEW SHALL NOT PREVENT THE CITY ENGINEER FROM REQUIRING CORRECTION OF ERRORS OR OMISSIONS IN PLANS FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE. APPROVAL BY THE CITY ENGINEER DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE CONSTRUCTION PERMITS. THE PERMITS WILL BE OBTAINED WITHIN THIS PERIOD OR THE PLANS SHALL BE RESUBMITTED FOR APPROVAL. WORK SHALL ALSO BE CONTINUOUSLY PURSUED IN ORDER TO MAINTAIN A VALID PLAN APPROVAL AND PERMIT. APPROVAL IS ONLY FOR WORK WITHIN THE JURISDICTION OF LAKE HAVASU CITY.
3. THE CONTRACTOR SHALL LIMIT THE WORK AREA TO PUBLIC RIGHT-OF-WAY AND PERMANENT EASEMENTS AS SHOWN FOR CONSTRUCTION OF THE PROJECT. TEMPORARY CONSTRUCTION EASEMENTS EXIST AS SHOWN AND INDICATED ON THE PLANS.
4. THE CONTRACTOR SHALL OBTAIN ANY ADDITIONAL TEMPORARY EASEMENTS OR USE AGREEMENTS THAT ARE DEEMED NECESSARY FOR CONSTRUCTION AT NO ADDITIONAL COST TO THE CITY. COPIES OF ALL CONTRACTOR OBTAINED EASEMENTS AND USE AGREEMENTS SHALL BE PROVIDED TO THE CITY'S REPRESENTATIVE PRIOR TO THE UTILIZATION OF THE SITE.
5. THE ENGINEERING DIVISION SHALL BE NOTIFIED TWENTY-FOUR (24) HOURS PRIOR TO ANY CONSTRUCTION WORK BY TELEPHONE (928) 933-3100. ANY WORK CONCEALED WITHOUT INSPECTION SHALL BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
6. AN APPROVED SET OF PLANS MUST BE AVAILABLE ON THE JOB SITE AT ALL TIMES. THE CONTRACTOR'S REPRESENTATIVE (CAPABLE OF COMMUNICATING WITH THE CITY'S REPRESENTATIVES) SHALL BE ON THE JOB AT ALL TIMES THE WORK IS BEING PURSUED.
7. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE EMERGENCY TELEPHONE NUMBERS TO LAKE HAVASU CITY AT THE TIME OF USE OF THE CITY'S RIGHT-OF-WAY AND HAVE PERSONNEL AVAILABLE 24 HOURS A DAY TO RESPOND TO EMERGENCIES. IF THE CITY IS REQUIRED TO RESPOND AND MAKE EMERGENCY REPAIRS ON BEHALF OF THE CONTRACTOR, THE CONTRACTOR IS RESPONSIBLE TO REIMBURSE THE CITY FOR ALL COSTS INCURRED.
8. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF A CONSTRUCTION PERMIT.
9. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY THE PRESENCE AND LOCATION OF ALL EXISTING OVERHEAD AND/OR UNDERGROUND UTILITIES THAT MAY INTERFERE WITH THIS CONSTRUCTION, WHETHER OR NO SAID UTILITIES ARE SHOWN ON THE CONSTRUCTION PLANS FOR THIS PROJECT AND TO ADEQUATELY PROTECT AND MAINTAIN ANY SUCH UTILITIES.
10. THE CONTRACTOR SHALL CONTACT ARIZONA 811 AT LEAST TWO FULL WORKING DAYS PRIOR TO ANY EXCAVATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN PRESENT SURVEY STAKE MARKINGS THROUGHOUT CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONTRACTOR'S OPERATION SHALL BE REPORTED TO THE UTILITY OWNER IMMEDIATELY AND REPAIRED OR REPLACED AT NO COST TO THE CITY.
11. THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PREVENT EROSION AND DEPOSITION OF SEDIMENTS INTO WATER COURSES. THE CONTRACTOR SHALL SUBMIT AN EROSION CONTROL PLAN FOR APPROVAL PRIOR TO THE START OF ANY EXCAVATION, ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIERCE AND RIPPED EROSION CONTROL CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT IMPROVEMENTS, WHETHER EXISTING OR PROPOSED, FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS. ALL EROSION AND SEDIMENT CONTROL WORK SHALL BE INCIDENTAL TO OTHER PAY ITEMS.
12. TRAFFIC CONTROL SHALL CONFORM WITH THE TRAFFIC BARRICADE MANUAL AND DUTY-DUTY GUIDELINES. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN FOR THE TRAFFIC BARRICADE MANUAL. BARRICADES MUST BE CONTINUALLY MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. A TRAFFIC CONTROL PLAN (TCP) SHALL BE SUBMITTED TO THE ENGINEERING DIVISION AND ACCEPTED A MINIMUM OF 24 HOURS PRIOR TO CONSTRUCTION. AN ACCEPTED TCP WILL BE STAMPED AND A COPY RETURNED TO THE CONTRACTOR. A COPY OF THE ACCEPTED PLAN MUST REMAIN ON THE JOB SITE AT ALL TIMES.
13. ALL CONTRACTORS ARE RESPONSIBLE TO OBTAIN AN ARIZONA POLLUTANT DISCHARGE ELIMINATION SYSTEM (APDES) PERMIT IN CONFORMANCE WITH FEDERAL AND STATE REGULATIONS, INCLUDING NOTICE OF INTENT (NOI), NOI TERMINATION AND COMPLIANCE, AND DRILL POLLUTION PREVENTION PLAN (SWPPP). A COPY OF THE NOI AND SWPPP SHALL BE AVAILABLE ON THE JOB SITE AT ALL TIMES.
14. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY AND ALL OTHER PERMITS AND MEET ANY REQUIREMENTS SET FORTH BY OTHER AGENCIES OR UTILITIES, WHICH HAVE JURISDICTION, AT THE CONTRACTORS EXPENSE, INCLUDING OSHA. CONTRACTOR SHALL MEET OSHA STANDARDS FOR TRENCH SAFETY.
15. FIRE ACCESS TO BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION AS REQUIRED BY LAKE HAVASU CITY FIRE DEPARTMENT.
16. EXISTING LANDSCAPING AND/OR IRRIGATION SYSTEMS DISTURBED BY CONSTRUCTION SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE. THE WORK SHALL BE COORDINATED WITH LAKE HAVASU CITY ENGINEERING DIVISION.
17. ALL EXISTING PAVEMENT MARKINGS, TRAFFIC SIGNS, AND SIGNAL EQUIPMENT THAT NEED TO BE REMOVED, REPAIRED, OR RELOCATED, OR REPAIRED DUE TO CONTRACTOR'S WORK SHALL BE DONE BY THE CONTRACTOR AT HIS EXPENSE.
18. ALL QUANTITIES SHOWN ON PLANS ARE APPROXIMATE, ARE NOT VERIFIED BY THE ENGINEER, AND ARE FURNISHED SOLELY FOR THE CONTRACTOR'S CONVENIENCE. THEY DO NOT NECESSARILY CORRESPOND TO BID SCHEDULE ITEMS. PAYMENT WILL BE BASED ON BID SCHEDULE ITEMS. THE CONTRACTOR SHALL NOT BE RELIEVED OF HIS RESPONSIBILITY FOR INDEPENDENTLY ESTIMATING WORK QUANTITIES PRIOR TO BIDDING.
19. THE CONTRACT SHALL HAVE A MINIMUM OF ONE (1) YEAR PERIOD. NO JOB WILL BE CONSIDERED COMPLETE UNTIL ALL CURBS, PAVEMENT AND SIDEWALKS (NEW AND EXISTING) HAVE BEEN SWEEP CLEAN OF ALL DIRT AND DEBRIS.
20. ALL PLANS, SIGNED BY THE DESIGN ENGINEER, ARE NULL AND VOID ONE YEAR FROM DATE OF SIGNATURE IF CONSTRUCTION HAS NOT STARTED.
21. THE CONTRACTOR SHALL KEEP SUITABLE EQUIPMENT ON HAND AT THE JOBSITE FOR MAINTENANCE DUST CONTROL, AND SHALL BE AVAILABLE TO AS DIRECTED BY THE APPLICABLE AGENCIES.
22. REMOVAL OF STRUCTURES AND OBSTRUCTIONS AS NECESSARY TO COMPLETE THE WORK, OTHER THAN SPECIFICALLY SCHEDULED IN THE BID, IS INCIDENTAL TO THE CONTRACT. NO SEPARATE MEASUREMENT OF PAYMENT FOR UNSCHEDULED REMOVAL ITEMS WILL BE MADE.
23. CLEARING AND GRUBBING IS CONSIDERED INCIDENTAL TO THE WORK UNLESS SEPARATELY IDENTIFIED IN THE BID SCHEDULE. THE SITE OF ALL EXCAVATION, EMBANKMENTS, AND FILLS SHALL FIRST BE CLEARED OF WEEDS, GRASS, WEEDS, AND LOOSE BOLLERS WHOEVER REMOVED AND DUMPED OFF OF THE PROJECT. THE CONTRACTOR MUST SATISFY HIMSELF REGARDING THE CHARACTER AND AMOUNT OF LOAM, CLAY SAND, QUICKSAND, HARDPAN, GRAVEL, ROCK, WATER, AND ALL OTHER MATERIAL TO BE ENCOUNTERED AND WORK TO BE PERFORMED.
24. CONSTRUCTION STAKING SHALL BE BY THE CONTRACTOR'S SURVEYOR WITH CONTROL PROVIDED BY THE DESIGN ENGINEER WHO STAMPED THE PLANS.
25. ELEVATION, FLOW, AND VOLUME ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY CONTRACTOR.
26. PROPERTY LINES SHOWN ON DRAWINGS ARE APPROXIMATE.
27. THE CITY MAY ORDER ANY OR ALL WORKSMANSHIP AND MATERIALS TO BE TESTED ACCORDING TO APPLICABLE STANDARDS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL REWORK AND/OR REMOVAL AND REPLACEMENT OF ALL MATERIALS AND/OR WORKSMANSHIP REPRESENTED BY A FAILING TEST. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS OF TESTING AND QUALITY ASSURANCE/QUALITY CONTROL AS DELINEATED IN THE CITY PROJECT SPECIFICATIONS. THE COST OF TESTING IS ESSENTIAL TO EACH OF THE WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COST OF ANY CITY INSPECTION AND CITY INSPECTION TIME IF THE CONTRACTOR'S WORK IS BEING PERFORMED IN OVERTIME, AT NIGHT, OR ON WEEKENDS.
28. APPROVAL OF A PORTION OF THE WORK IN PROGRESS DOES NOT GUARANTEE ITS FINAL ACCEPTANCE. TESTING AND EVALUATION MAY CONTINUE UNTIL WRITTEN FINAL ACCEPTANCE OF A COMPLETE AND WORKABLE UNIT. THE CITY MAY SUSPEND THE WORK BY WRITTEN NOTICE WHEN, IN ITS JUDGEMENT, PROGRESS IS UNACCEPTABLE, OR WHEN THE GRAVE DANGER OF DISTURBED OR DEFECTIVE, WEATHER CONDITIONS ARE UNSUITABLE, OR THERE IS A DANGER TO THE PUBLIC HEALTH OR SAFETY.
29. THE CONTRACTOR SHALL GRADE AND RESURFACE ALL AREAS DISTURBED BY CONSTRUCTION, INCLUDING LANDSCAPE ROCK, IN ACCORDANCE WITH THE SPECIFICATIONS AND TO A CONDITION EQUAL TO, OR BETTER THAN, THE PRE-CONSTRUCTION CONDITION.
30. THE CONTRACTOR SHALL PROTECT ALL CONCRETE STRUCTURES TO REMAIN, ALL CONCRETE REPLACEMENT SHALL BE MATCH JOINT TO MATCH CURBS, SIDEWALK, RAMPS, SPILLWAYS) AND SHALL BE REPLACED WITH 4,000-PSI CONCRETE. ALL DAMAGED CONCRETE PANELS MUST BE REPLACED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
31. THE CONTRACTOR SHALL PROVIDE PROTECTION TO PREVENT UNDERMINING OR DAMAGING THE STRUCTURAL INTEGRITY OF ALL POWER POLES, FENCES, BLOCK WALLS, SCREEN WALLS, RETAINING WALLS, HIGHWAY AND STREET SIGNS, OTHER STRUCTURES, OR OTHER EXISTING OR PUBLIC IMPROVEMENTS WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE UTILITY OWNER AS NECESSARY TO PROVIDE TEMPORARY SUPPORT OR PROTECTION DURING CONSTRUCTION WORK, AND SHALL NEATLY REMOVE AND PROMPTLY REPLACE NON-UTILITY IMPROVEMENTS WITHOUT UNDUE DISRUPTION. THE COST OF ALL SUCH PROTECTION, REMOVAL, AND REPLACEMENT REQUIRED TO COMPLETE THE PROJECT SHALL BE SUBSIDIARY TO OTHER BID ITEMS.
32. THE CONTRACTOR SHALL TAKE ALL APPROPRIATE STEPS TO MAINTAIN CONTINUOUS UTILITY SERVICE TO RESIDENTS AND BUSINESSES WITHIN THE PROJECT AREA. MANY EXISTING WATER AND GAS LINES ARE MORE THAN 30 YEARS OLD, PROPOSED METHOD OF CROSSING AND/OR SUPPORT OF UTILITIES SHALL BE APPROVED BY UTILITY OWNER IN ADVANCE OF WORK. MANY LOCAL WATER LINES ARE CONSTRUCTED OF ASBESTOS CEMENT. GAS LINES ARE REPORTED TO BE BRITTLE. SO CLOSE COORDINATION WITH THE UTILITY OWNER'S WILL BE NECESSARY TO AVOID DAMAGE. PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. UNDERLYING DRIVES AND GRAVE DANGER IS DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED WITH A MINIMUM OF SIX INCHES (6") OF GRANULAR BACKFILL AS SPECIFIED IN SECTION 02300 AND SHALL BE CONSIDERED SUBSIDIARY TO OTHER PAY ITEMS.
33. ANY ROCK ENCOUNTERED DURING EXCAVATION SHALL BE REMOVED AT NO ADDITIONAL COST TO THE CITY. ROCK EXCAVATION COST SHALL BE INCIDENTAL TO OTHER ITEMS OF WORK.
34. ANY SHORING REQUIRED SHALL BE CONSIDERED INCIDENTAL TO OTHER ITEMS OF WORK.
35. THE CONTRACTOR SHALL PROVIDE PROTECTION TO ALL EXISTING IMPROVEMENTS PRIOR TO CONSTRUCTION. THE CONTRACTOR MUST HAVE AN APPROVED SEQUENCING PLAN PRIOR TO ANY CONSTRUCTION.
36. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING STAGING AREAS FOR THEIR WORK.
37. GRADING SHALL COMPLY WITH 2012 BUILDING CODE - APPENDIX J AND LOCAL AMENDMENTS.












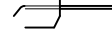
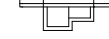



A PORTION OF SECTIONS 1 & 2, TOWNSHIP 13 NORTH, RANGE 20 WEST,
GILA AND SALT RIVER MERIDIAN
MOHAVE COUNTY, ARIZONA

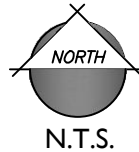
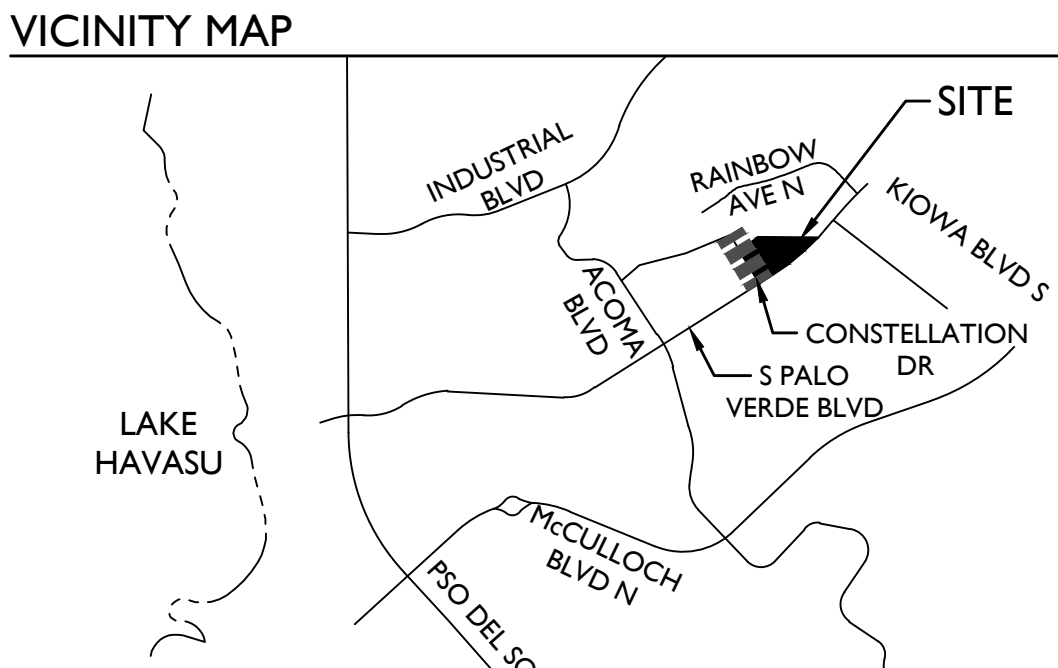


QUANTITIES ARE FOR ESTIMATING PURPOSES ONLY.
ENGINEER MAKES NO GUARANTEE OF ACCURACY.

ITEM	QUANTITY
<u>OFFSITE WATER NOTES</u>	
6 REMOVE EXISTING FIRE HYDRANT AND REPLACE WITH NEW HYDRANT PER LHC DETAIL 320	1 EA
<u>OFFSITE PAVING NOTES</u>	
1 2" AC / 4" ABC PER LHC DETAIL 203B	1230 SY
3 NEW MONUMENT PER MAG 120	1 EA
8 DRIVEWAY PER LHC DETAIL 201	1 EA
10 6" VERTICAL CURB & GUTTER; LHC DETAIL 214	862 LF
11 CURB TERMINATION PER MAG 222	1 EA
13 4" THICK CONCRETE SIDEWALK MAG 230	5195 SF
15 ACCESSIBLE RAMP PER LHC DETAIL 207	1 EA
16 ADJUST VALVE BOX & COVER LHC DETAIL 300	2 EA
<u>OFFSITE DEMOLITION NOTES</u>	
2 SAWCUT REMOVE AND REPLACE EXISTING AC PAVEMENT IN KIND	612 SY
3 SAWCUT AND REMOVE EXISTING CONCRETE	161 SF
6 REMOVE AND RELOCATE EXISTING SIGN R2-1	1 EA
7 REMOVE AND RELOCATE EXISTING SIGN W1-8	4 EA
<u>OFFSITE SIGNING & STRIPING NOTES</u>	
3 PROPOSED LOCATION OF SIGN	5 EA

LEGEND

FINISHED FLOOR ELEVATION	— T —	EXISTING TELEPHONE
PROPOSED STORM DRAIN LINE	— OHE —	EXISTING OVERHEAD ELECTRIC
	— G —	EXISTING GAS
PROPOSED TOP OF CURB ELEV. AT P/L	— FO —	EXISTING FIBER OPTIC
	— UGE —	EXISTING UNDERGROUND ELECTRIC
GRADE BREAK	— 8" W —	EXISTING WATER
GRADE CHANGE	— 8" S —	EXISTING SEWER
DRYWELL		EXISTING STREET LIGHT
PROPOSED STRUCTURAL RETAINING WALL		EXISTING JUNCTION BOX
PROPOSED VERTICAL CURB		EXISTING GUY WIRE
PROPOSED ROLL CURB		EXISTING SEWER MANHOLE
PROPOSED CENTERLINE		EXISTING WATER METER
PROPOSED MULTI USE EASEMENT		EXISTING WATER VALVE
PROPOSED SIDEWALK RAMP		EXISTING FIRE HYDRANT
PROPOSED SURVEY MONUMENT		EXISTING VERTICAL CURB
PROPOSED WATER SERVICE		EXISTING ROLL CURB
PROPOSED WATERLINE		EXISTING STREET SIGN
PROPOSED WATER CAP W/FLUSHING PIPE		
PROPOSED WATER VALVE		PROPOSED SCUPPER
PROPOSED FIRE HYDRANT W/ PAVEMENT MARKER		PROPOSED CATCH BASIN
PROPOSED SEWERLINE		PROPOSED RIPRAP
PROPOSED SEWER SERVICE		PROPOSED HEADWALL
PROPOSED SEWER MANHOLE		PROPOSED DRIVEWAY
PROPOSED AIR RELEASE VALVE		



ARCHITECT & PLANNER:

Emc2 Group ArchitectsPlanners, PC
1635 N Greenfield Rd, SUITE 144
MESA, ARIZONA 85205
PHONE: (480) 830-3838
FAX: (480) 830-3860
www.emc2architects.com

OWNER

LAKE HAVASU UNIFIED SCHOOL DISTRICT #1
2200 HAVASUPAI BLVD.
LAKE HAVASU CITY, AZ 86403
PHONE: (928) 505-6900 FAX: (928) 505-6999

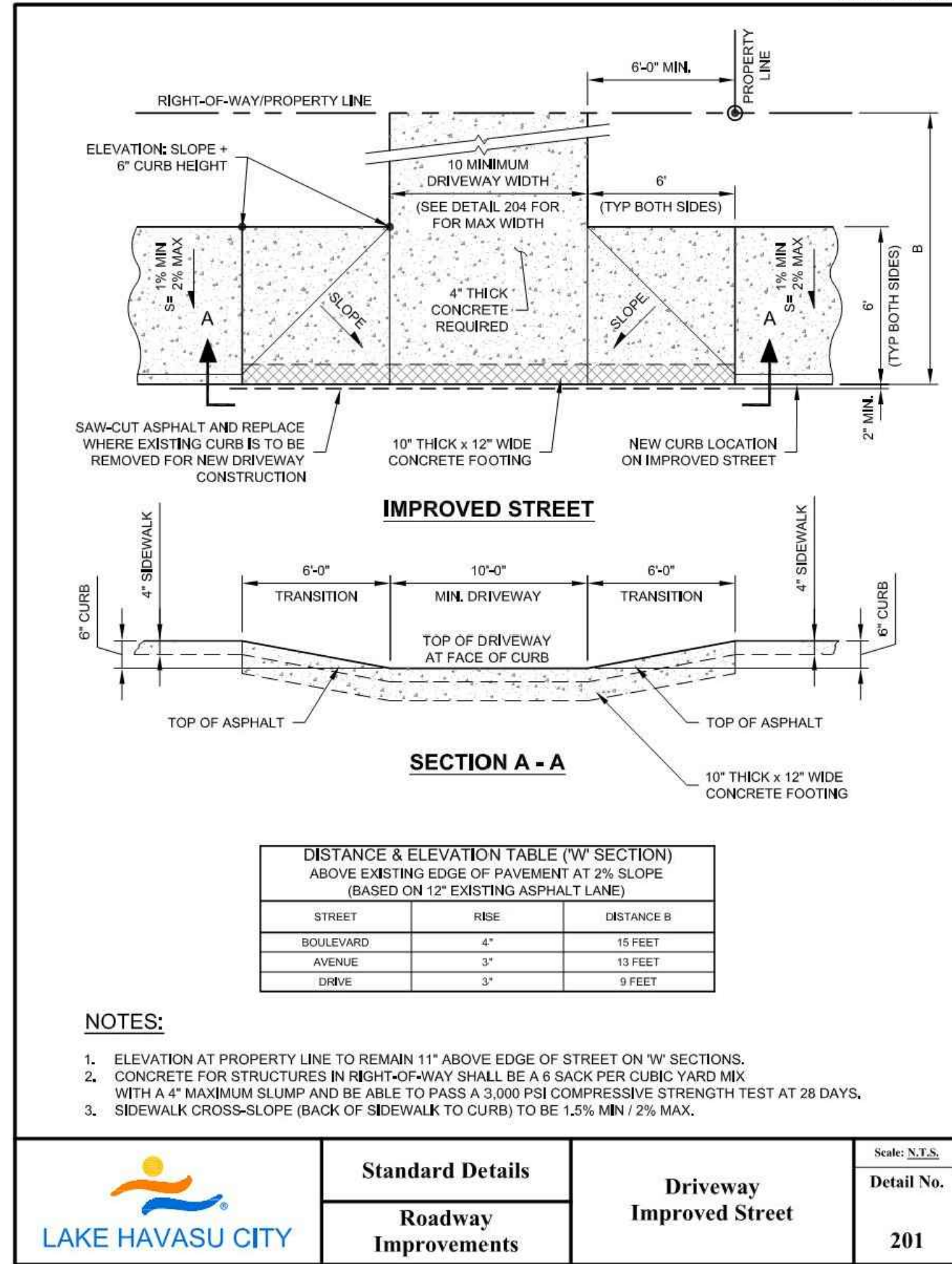
CIVIL ENGINEER:

EPS GROUP, INC.
1130 N Alma School Rd, SUITE 120
MESA, ARIZONA 85201
PHONE: (480) 503-2250
FAX: (480) 503-2258
CONTACT: DAN AUXIER, P.E.

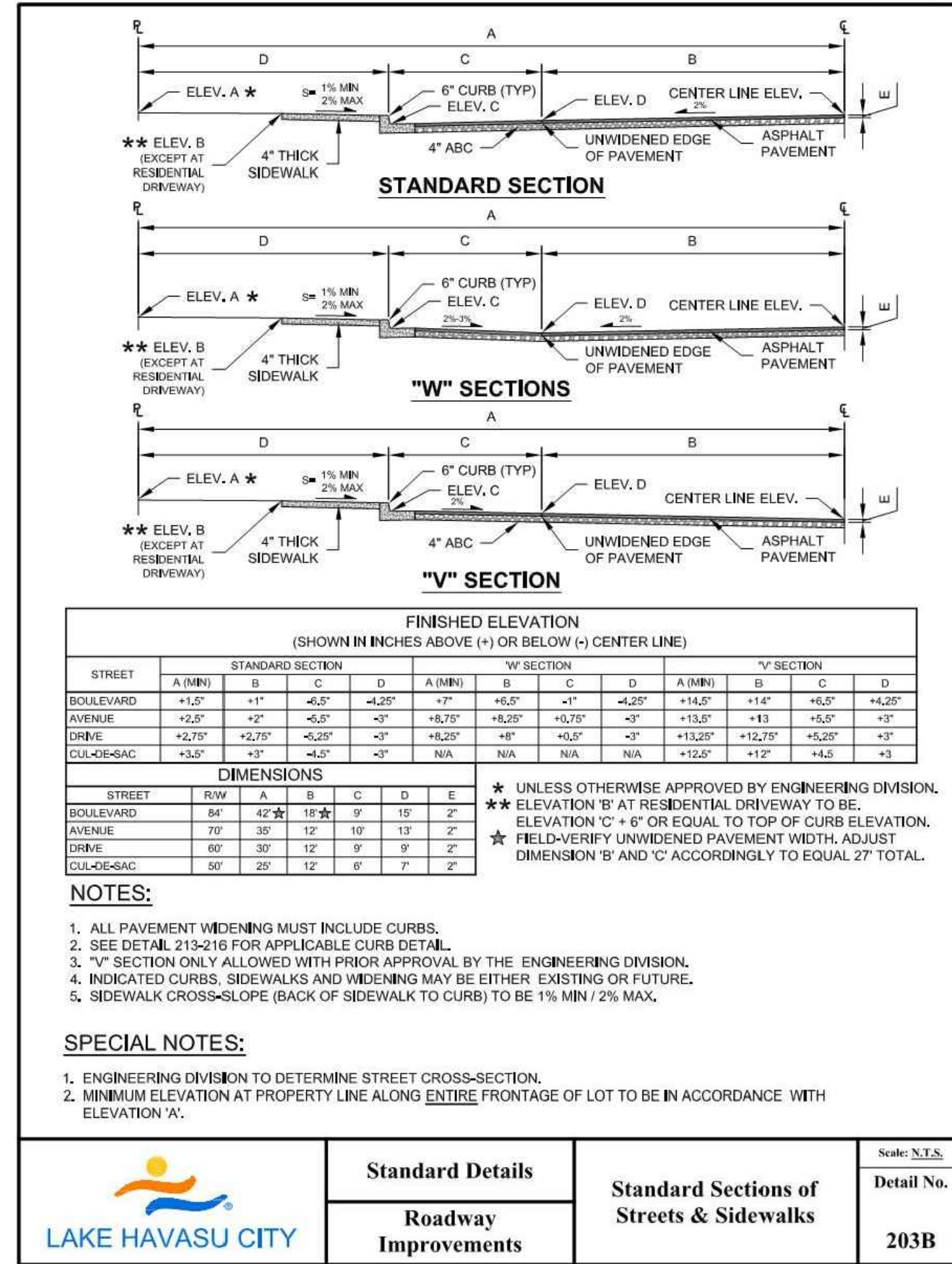
GEOTECHNICAL ENGINEER:

WESTERN TECHNOLOGIES INC.
524 E. DRINDA WAY, NO. 113
FORTE MOHAVE, AZ 86426
PHONE: (928) 758-8378
CONTACT: DONALD SPADOLA, P.E.
WT IQB NO. 4157XX064 DATED 10-28-2017

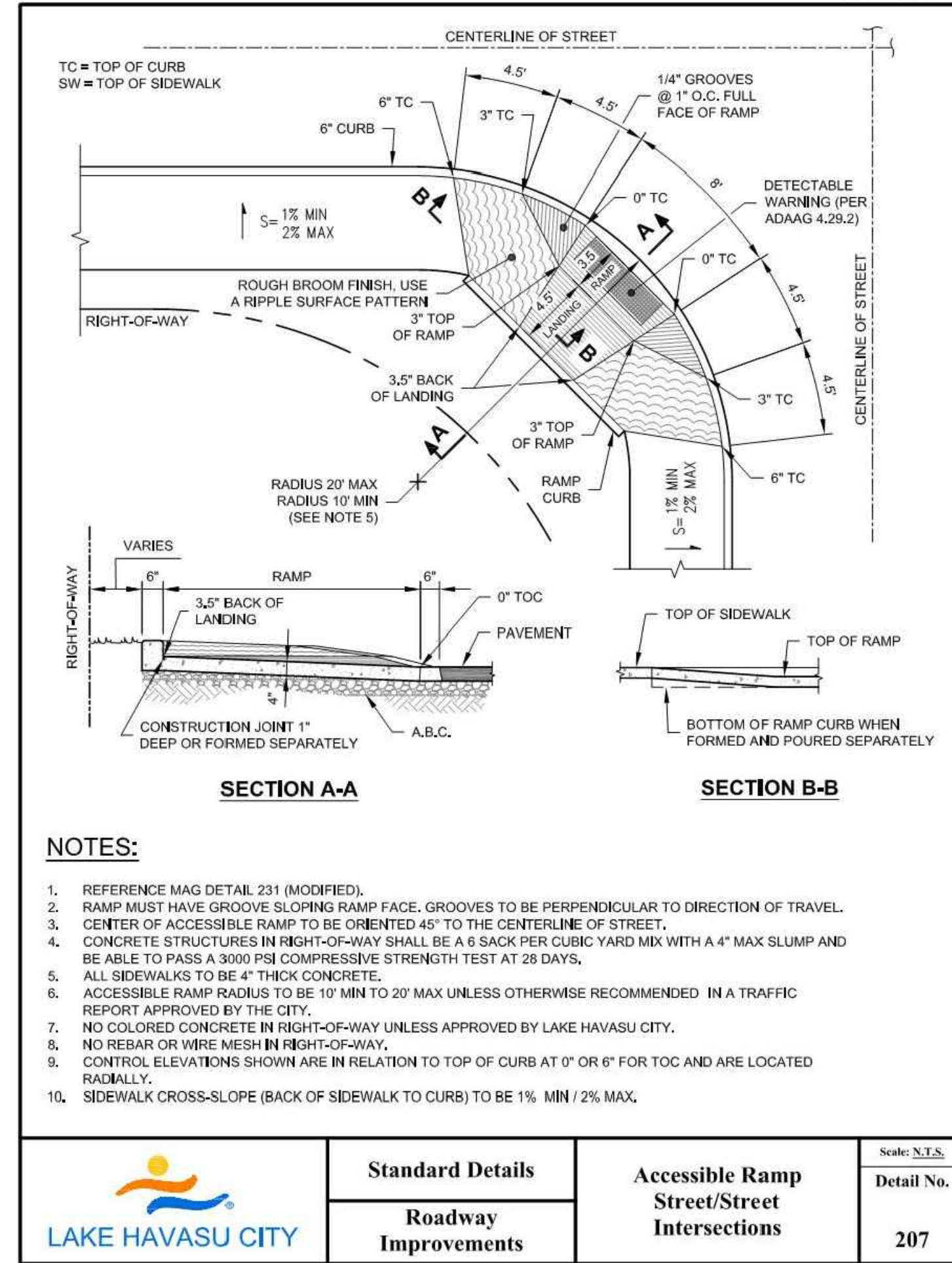
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COVER SHEET	CS01	1
GENERAL NOTES & DETAILS SHEET	DT01	2
PAVING PLANS & PROFILES	PP01 - PP02	3 - 4



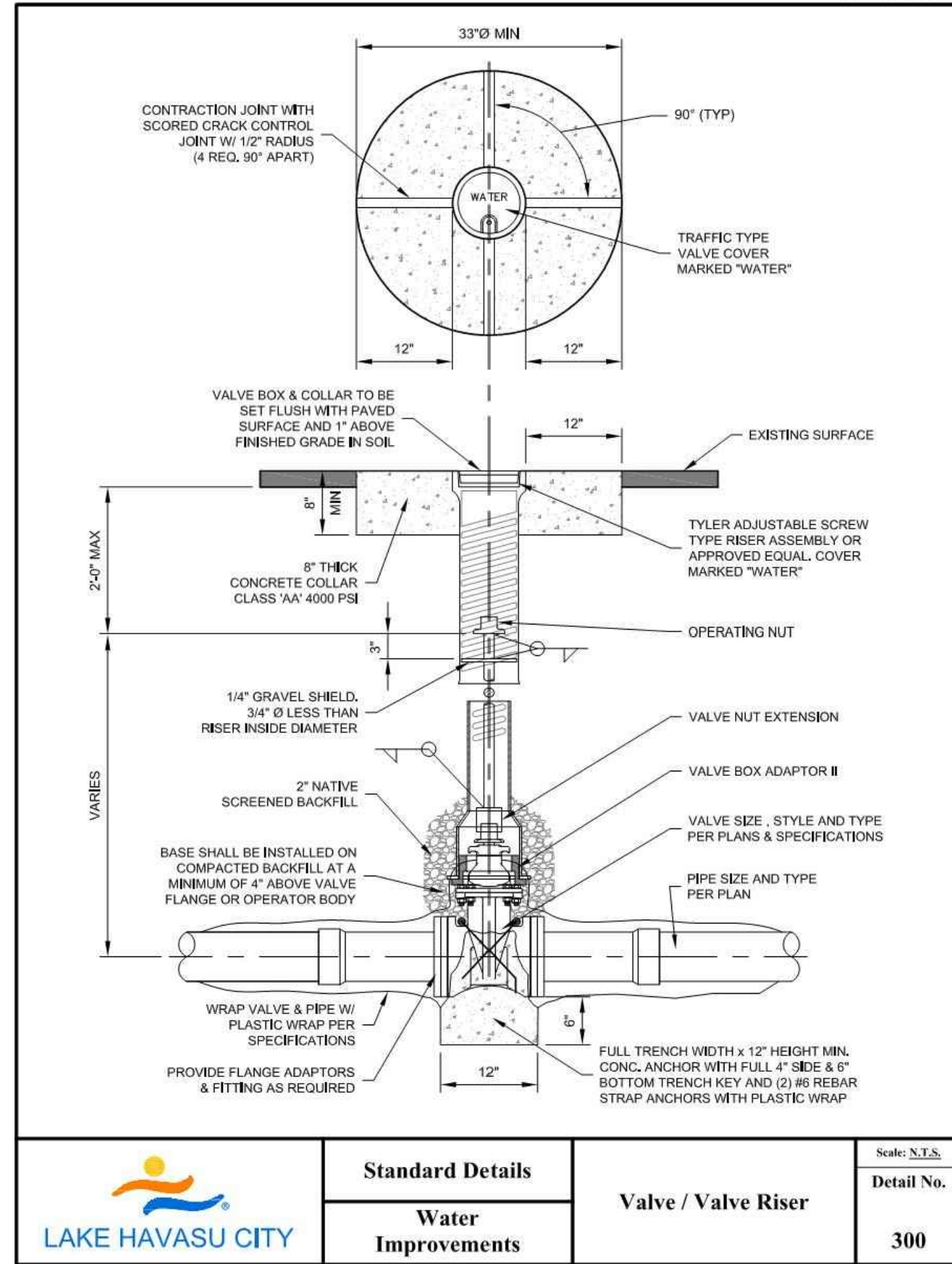
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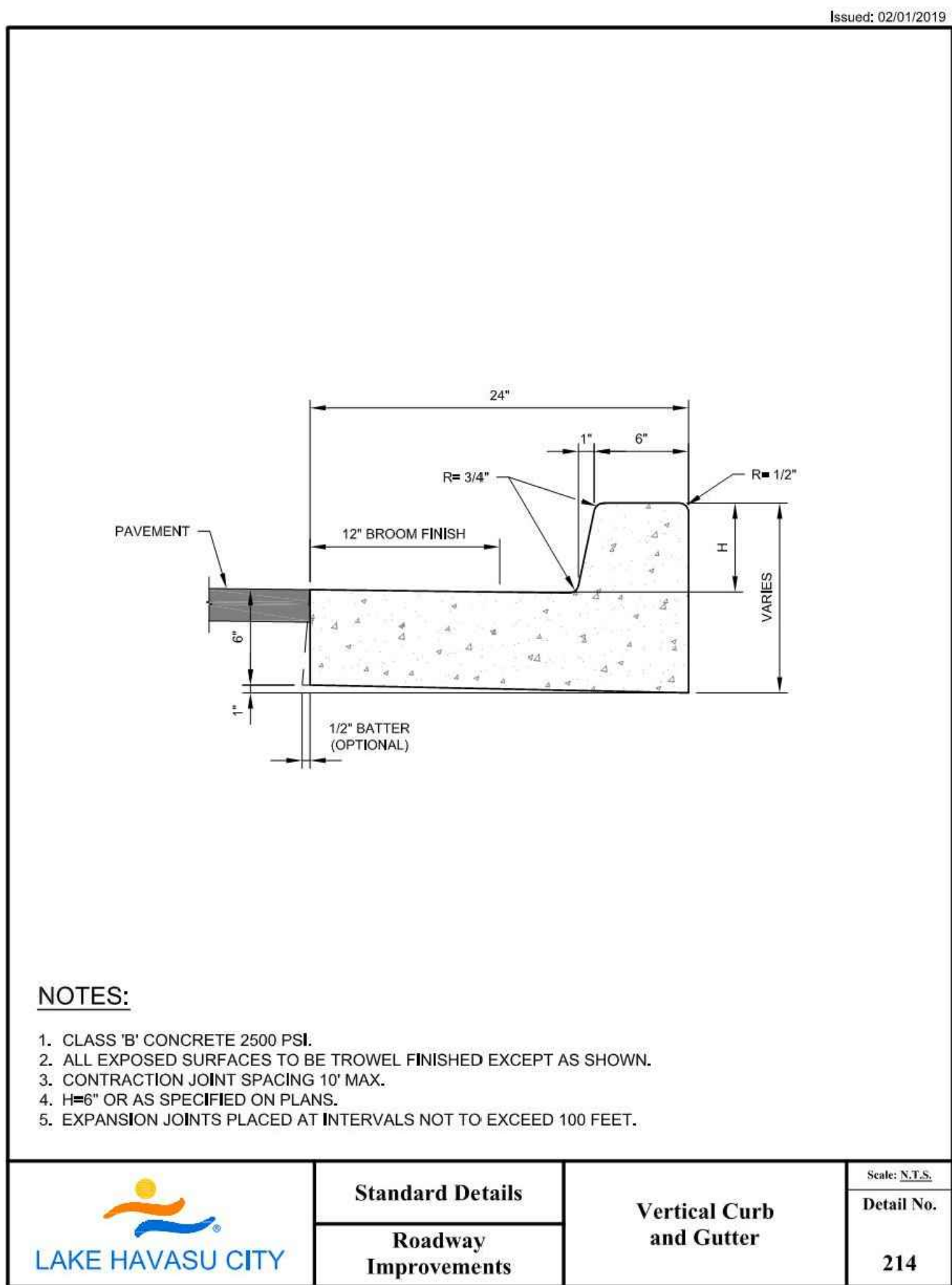
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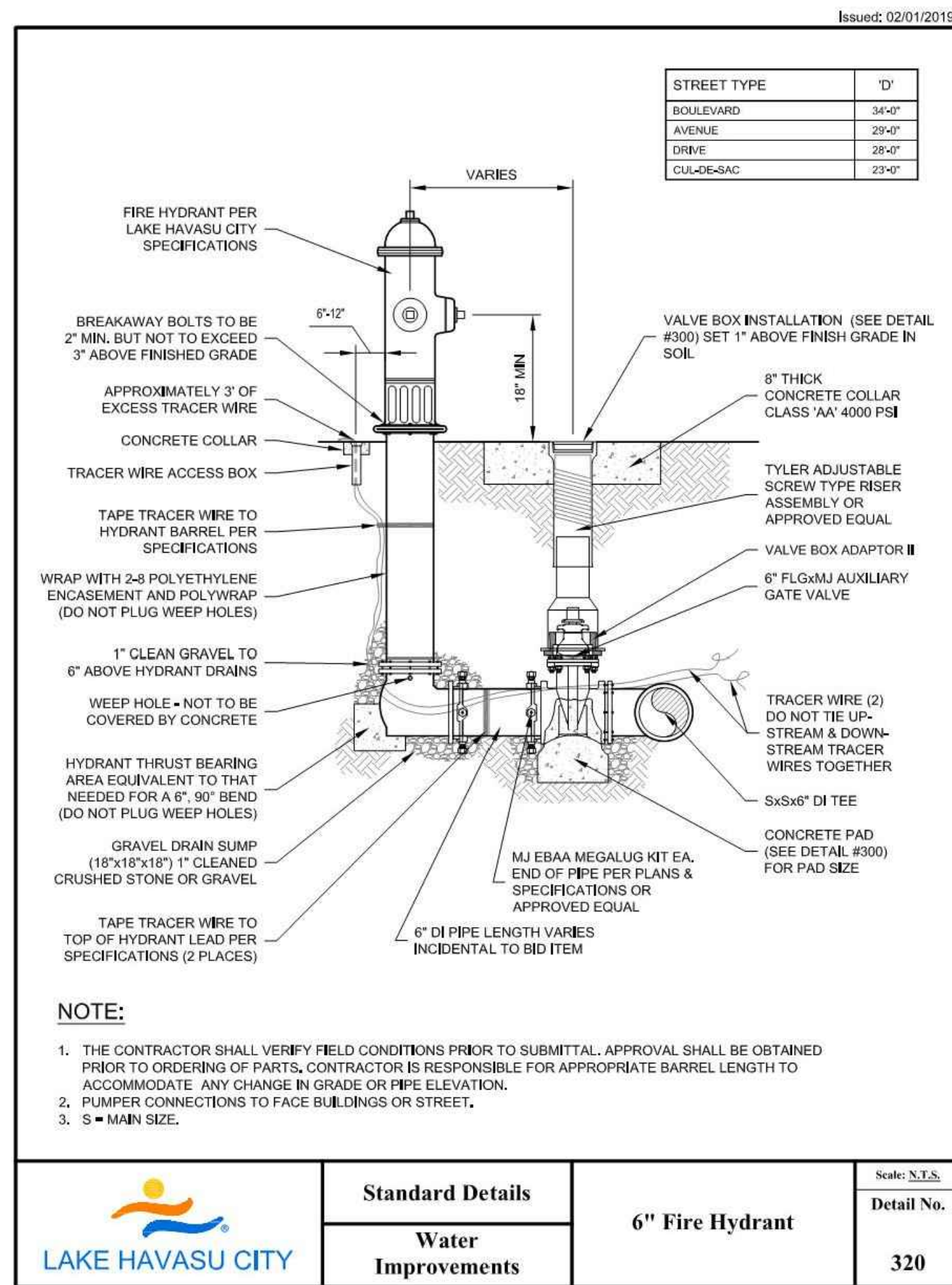
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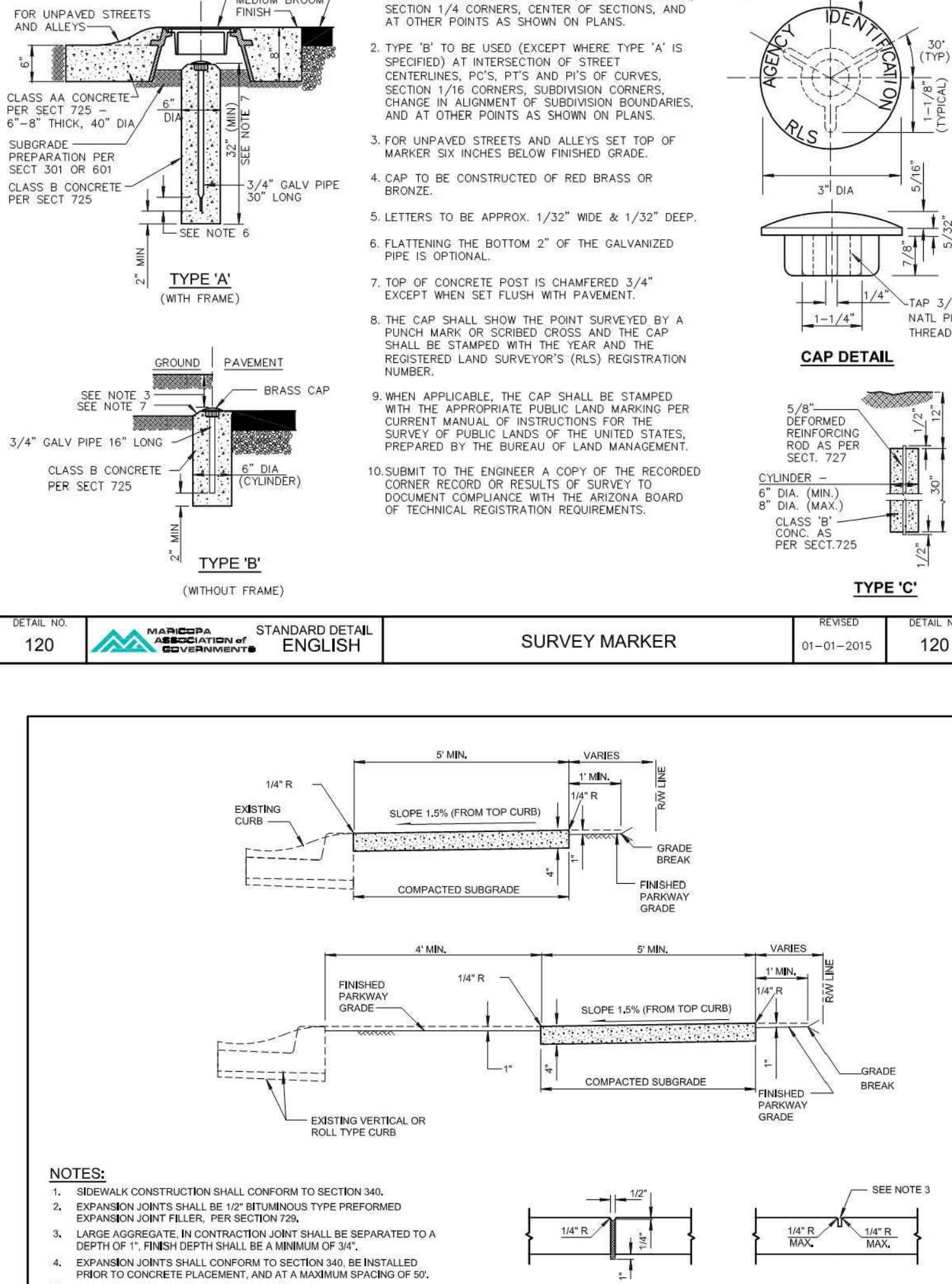
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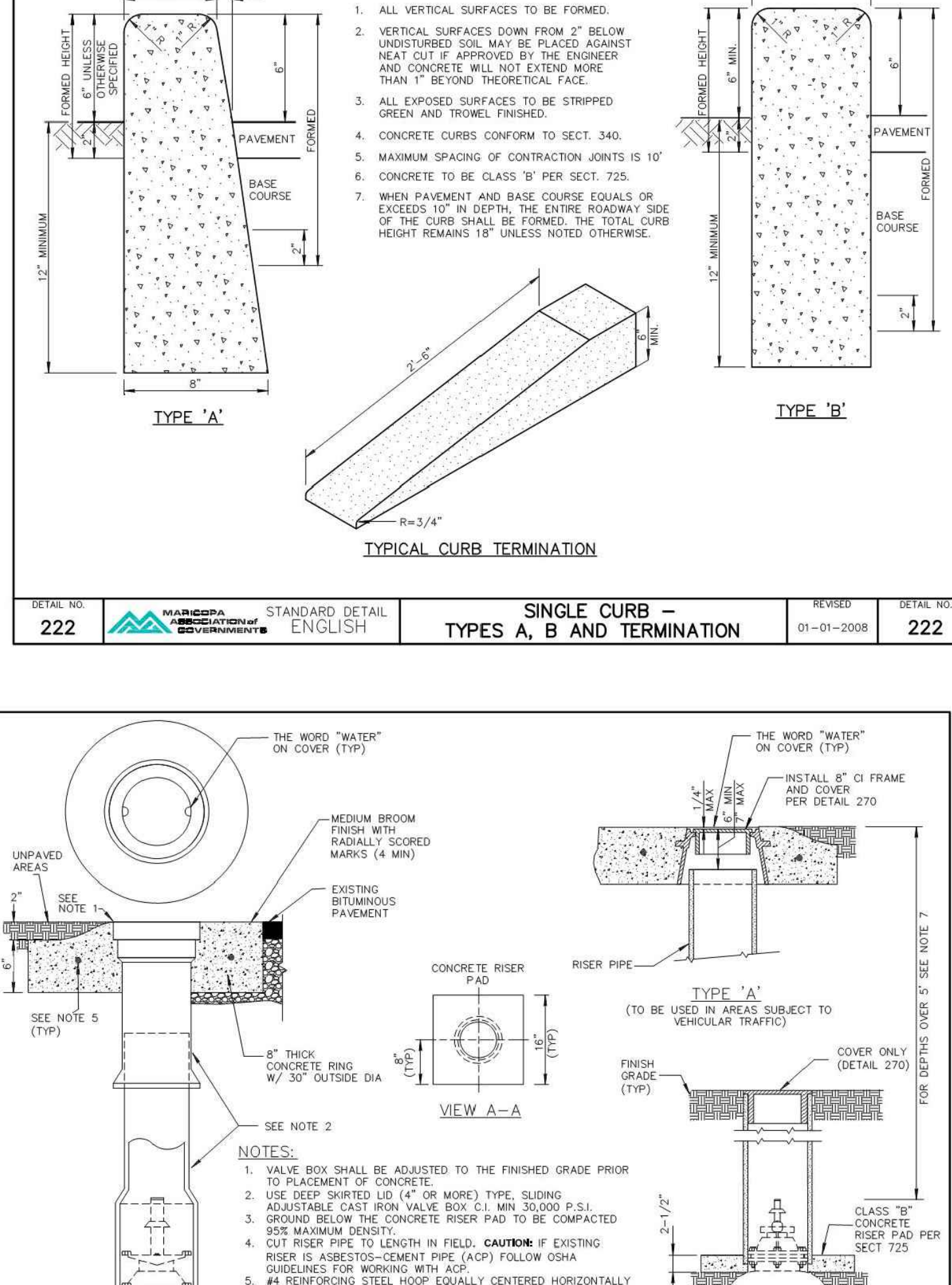
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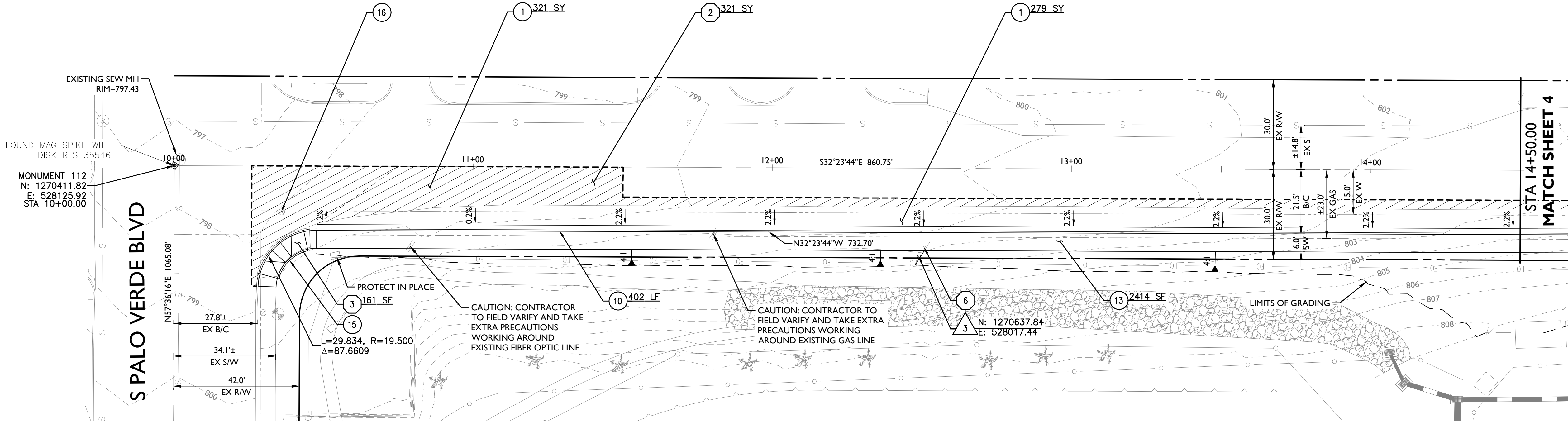
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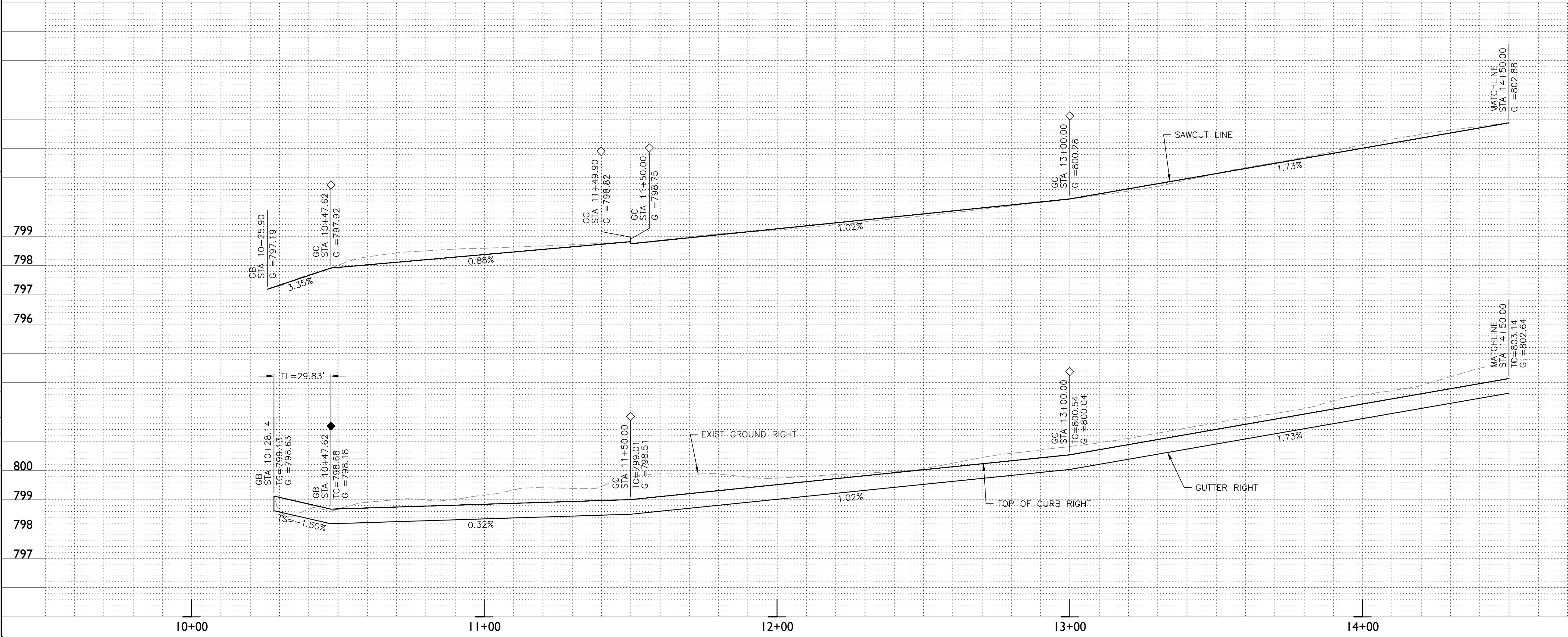
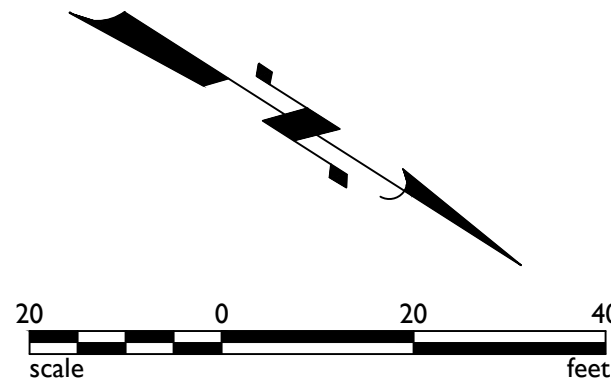
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Constellation Drive



CONSTRUCTION NOTES

OFFSITE PAVING NOTES

1

2" AC / 4" ABC PER LHC DETAIL 203B

600 SY

10

6" VERTICAL CURB & GUTTER; LHC DETAIL 214

402 LF

13

4" THICK CONCRETE SIDEWALK MAG 230

2414 SF

15

ACCESSIBLE RAMP PER LHC DETAIL 207

1 EA

16

ADJUST VALVE BOX & COVER LHC DETAIL 300

1 EA

OFFSITE DEMOLITION NOTES

2

SAWCUT REMOVE AND REPLACE EXISTING AC PAVEMENT IN KIND

321 SY

3

SAWCUT AND REMOVE EXISTING CONCRETE

161 SF

6

REMOVE AND RELOCATE EXISTING SIGN R2-1

1 EA

OFFSITE SIGNING & STRIPING NOTES

3

PROPOSED LOCATION OF SIGN

1 EA

Lake Havasu High School
Constellation Drive Improvement Plans
2675 Palo Verde Boulevard South, Lake Havasu City, AZ

Paving Sheet

Professional Engineer
50291
DANIEL B. AUXIER
One signed per set
ARIZONA 811

Call at least two full working days
before you begin excavation.

1130 N Alma School Road
Suite 120
Mesa, AZ 85201
T:480.503.2250 | F:480.503.2258
www.epsgroupinc.com

Revisions

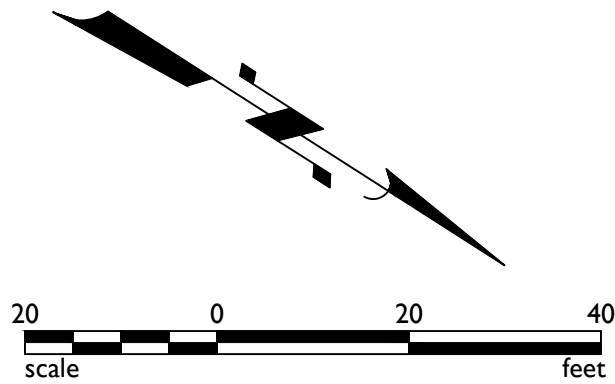
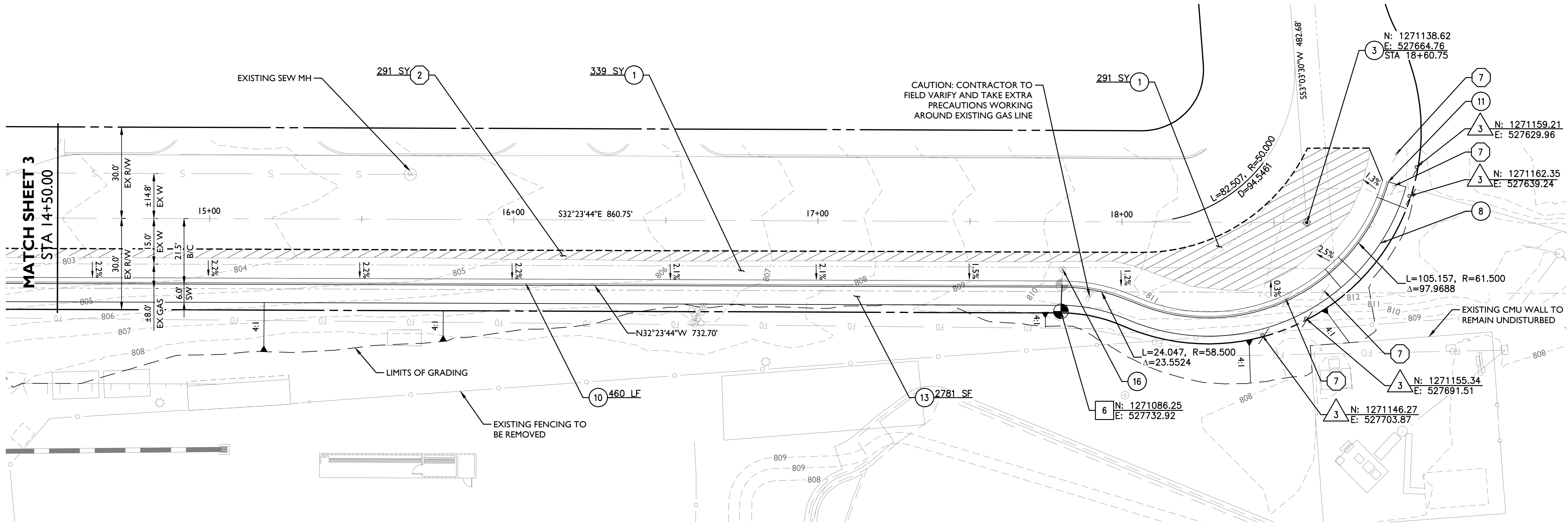
Designer:
EPS

Job No.
20-0328

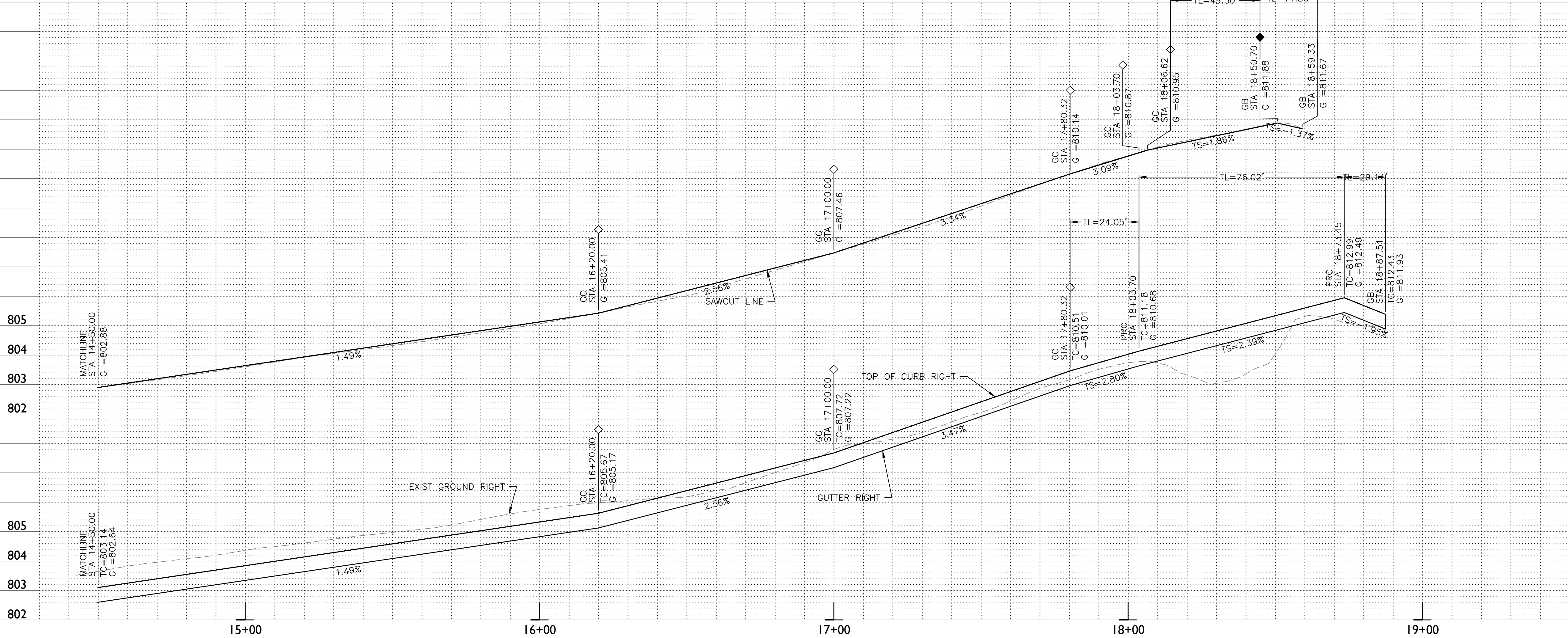
Drawn by:
EPS

Dwg No.
PP01

Sheet No.
3
of 4



Constellation Drive



CONSTRUCTION NOTES

OFFSITE WATER NOTES

6

REMOVE EXISTING FIRE HYDRANT AND REPLACE WITH NEW HYDRANT PER LHC DETAIL 320

1 EA

OFFSITE PAVING NOTES

1

2" AC / 4" ABC PER LHC DETAIL 203B

630 SY

3

NEW MONUMENT PER MAG 120

1 EA

8

DRIVEWAY PER LHC DETAIL 201

1 EA

10

6" VERTICAL CURB & GUTTER; LHC DETAIL 214

460 LF

11

CURB TERMINATION PER MAG 222

1 EA

13

4" THICK CONCRETE SIDEWALK MAG 230

2781 SF

16

ADJUST VALVE BOX & COVER LHC DETAIL 300

1 EA

OFFSITE DEMOLITION NOTES

2

SAWCUT REMOVE AND REPLACE EXISTING AC PAVEMENT IN KIND

291 SY

7

REMOVE AND RELOCATE EXISTING SIGN W1-8

4 EA

OFFSITE SIGNING & STRIPING NOTES

3

PROPOSED LOCATION OF SIGN

4 EA

Lake Havasu High School
Constellation Drive Improvement Plans
2675 Palo Verde Boulevard South, Lake Havasu City, AZ

Paving Sheet

Professional Engineer
50291
DANIEL B. AUXIER
One signed per set
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Suite 120
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T:480.503.2250 | F:480.503.2258
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Call at least two full working days
before you begin excavation.
ARIZONA
Dial 8-1-1 or 1-800-STAKE-IT (782-6348)
In Maricopa County: (602)263-1100

Revisions

Design: EPS

Job No. 20-0328

Drawn by: EPS

Dwg No. PP02

Sheet No. 4 of 4